

*Escapees at North Ranch*

***Lot Owners’  
Information Package  
and  
Architectural Control  
Guidelines***

Last revised January 2011

(Revisions include removing page 2 regarding the timing of review of plot plans,  
reinstating the missing table of contents as page 2, correcting phone numbers on page 3,  
reinstating missing words in the next to last paragraph of page 4,  
and correction of spelling of title on page 28)

These guidelines along with the CC&Rs form the rules and regulations of the Escapees  
subdivision at North Ranch

Congress, Arizona

**ESCAPEES NORTH RANCH**

**Lot Owners' Information Package**  
**and**  
**Architectural Guidelines**

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Note: (1) Speed Limit is 20 MPH (Campground Speed limit is 5 MPH)  
(2) Generator Hours: Same as North Ranch Campground  
7:30-9:00AM; 11:30-12:30 PM; 4-7 PM.

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# IMPORTANT INFORMATION

(Information Subject to Change - Correct as of Print Date)

**ELECTRIC:** Arizona Public Service  
835 N. Tegner St.  
Wickenburg, Arizona  
(928) 684-5471

**TELEPHONE:** Table Top Telephone  
600 North Second Street  
Ajo, Arizona 85321  
(800) 560-9101

**WATER/SEWER:** Escapees North Ranch Utilities  
6825 E. Tennessee Avenue, Suite 547  
Denver, CO 80224  
Billing (866) 681-0148  
Emergency (928) 606-0498

<b>TRASH:</b>	Sickles Sanitation, Inc. 53412 N. Industrial Road Wickenburg, AZ 85390 (928) 684-0303	Desert Disposal PO Box 95 Yarnell, AZ 85362 (928) 442-9000
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(Note: The public trash collection area is about a mile north of the town of Congress on Route 89. It is open on Tuesdays, Thursdays, Fridays, and Saturdays if Lot Owners prefer to dispose of their own trash.)

<b>PROPANE:</b>	Amerigas 30401 Grand Ave. Wickenburg, AZ 85390 (928) 684-6380	Flame Propane 476 N. 6 <sup>th</sup> Street Prescott, AZ 86301 (928) 445-3191	Ferrellgas   (928) 684-2181
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**CONSTRUCTION AUTHORIZATION:**  
Yavapai County Building and Planning  
500 South Marina  
Prescott, Arizona  
(928) 771-3214

# NORTH RANCH LOT DESCRIPTION

Large Lots: Approximately one-fourth (1/4) acre in area, but usable property varies depending on road and easement requirements. Erosion control will be the responsibility of the owner. All drainage must be to the street.

Small Lots: Approximately fifty by seventy feet (50' by 70') but may vary due to road radii and easements. Small lots have sheds in place and pedestals for utility services. Erosion control will be the responsibility of the owner. All drainage must be to the street.

## DEFINITION OF EASEMENTS, SETBACKS, AND ESCAPEES AT NORTH RANCH COMMON AREA MAINTENANCE ASSOCIATION INC. (ENRCAMA) PROPERTY

- A. EASEMENT: An easement is a public right-of-way on a lot owner's property. The easements are for drainage and utilities. A lot owner may have limited use of an easement, but should any work be required along the easement line, the lot owner will not be reimbursed for replacing surface ornamentation, fencing, etc.
- B. SETBACK: Property area set aside in which construction is not allowed, except for fences and landscaping.
- C. ESCAPEES AT NORTH RANCH COMMON AREA MAINTENANCE ASSOCIATION INC. PROPERTY (ENRCAMA). This is the 50' road right of way which includes 11 1/2 feet from the lot side edge of the curb to the property line on all lots.

## LOCATIONS OF EASEMENTS, SETBACKS AND ENRCAMA PROPERTY

### LARGE LOTS

The first 11' 6" of road frontage from the lot side edge of the curb is ENRCAMA property. In addition to the ENRCAMA property there is a 20' setback on the road frontage for a total of 31' 6" from the lot side edge of the curb. In addition there is a setback of 7' on each side of the lot and 25' from the rear of the lot. See page 31 and 32 for diagrams of typical large lots.

NOTE: The typical 25' setback in the rear of lots that abut the large drainage canal running North to South is an EASEMENT and owners may not have fences or buildings within that 25' easement nor may the drainage canal be altered in any way that would impede water flow or create erosion.

## SMALL LOTS

The first 11 '6" of road frontage from the lot side edge of the curb is ENRCAMA property. In addition to the ENRCAMA property there is a 10' setback for a total of 21 '6" from the lot side edge of the curb along the road frontage. This 10' setback includes a 5' parking area setback. Each small lot also has a 7' Easement along the utility connection side of the lot, a 5' setback or easement along the back of the lot and a 5' setback along the side opposite the utility connection side of the lot. See pages 22 and 23 for diagrams of typical small lots.

NOTE: These are typical lot configurations but individual lots may vary depending on roads, drainage, or utility requirements.

## RULES FOR LOT SITTERS AND GUESTS

These rules are specifically directed at protecting the lot owner from unauthorized use of a lot and to avoid trespass.

Guest vehicle parking does not change the allotted vehicle allowance to either a small or large lot.

Written permission is required from the lot owner for a lot sitter to occupy the lot in the owner's absence. Lot owners are advised to also furnish Management and the Advisory Committee a copy of the authorization to avoid infringing on the lot sitter's privacy.

The lot sitter must have the owner's written permission in possession while on the lot. If the lot sitter does not have such authorization from the lot owner, they will be required to obtain written permission or they will be asked to leave the lot.

When the lot owner occupies the lot, the lot sitter becomes a guest. Each large lot owner is limited to twenty one days per year that guests with an RV may reside on his or her lot.

## **RULES FOR LANDSCAPING, USE AND MAINTENANCE OF ROAD RIGHT OF WAY/UTILITY EASEMENT**

Each lot has a strip of land, owned by Escapees North Ranch Common Area Maintenance Association, Inc. between the street and the property line. These rules are designed to provide vision for traffic and safety for pedestrians.

- A. Lot owners are responsible for the landscaping of this area and for beauty and land erosion.
- B. Owners may use this area for the required off-street parking.
- C. The four feet closest to the lot side of the curb are to be landscaped with ground covers: rock, ground cover plants, curbing stones, gravel, drive ways, and any other landscaping that will not be higher than 5 inches above the grade. Exceptions to this rule are: mail box as requested by the post office, or metal reflective drive way markers.
- D. Between the front four feet (described in C.) and the owner's lot line, there may be landscaping items up to three feet high. Landscaping items include: Cactus, small shrubs, lawn ornaments, rocks, decorative gardens and ground covers.
- E. There may not be any type of fence in this area. (Partial, ornamental fences or chains that do not incorporate the Associations property into the adjacent lot and temporary fences to protect immature plants will not be considered a fence in the context of these rules.) These items must follow the rules in D above and must not be so low as to present a tripping hazard and the lot owner must assume all liability associated with this, or any other improvement. This does not relieve the lot owner of the CC&R requirement for providing adequate off-street parking.
- F. Adjoining lot owners should be reminded that should access to utilities located in these areas be required, any and all costs associated with the removal and restoration of landscaping and/or other improvements is the responsibility of the lot owner (reference Article III, Item 3, of Declaration of Covenants, Conditions, and Restrictions for Escapees at North Ranch Subdivision.)

(These are a continuation of the Guidelines established by the North Ranch Advisory Committee in 1997.)

## **GUIDELINES FOR GRADING AND DRAINAGE**

Lot owners are responsible to ensure proper drainage from the lot. On some lots it may be necessary to adjust the grade on the property to achieve proper drainage. If a lot requires adjustment, a VARIANCE request must be submitted to the Advisory Committee with the following provisions:

- a) Drainage may not be diverted onto other lots in the subdivision.
- b) Grades may be adjusted to compensate for drainage problems as long as neighboring lots are not adversely affected, and agreement with adjoining lot owners is obtained and submitted to the Advisory Committee, in writing.
- c) Fences erected in conjunction with grading and drainage adjustments must be within the four (4) foot height limit as outlined in the architectural controls established for North Ranch.
- d) Erosion control is the responsibility of the lot owner.

It is the responsibility of the lot owner, or lot owner's agent, to work closely with the North Ranch Advisory Committee so problems and possible unnecessary expenses, for not adhering to the subdivision requirements, are avoided.

## **LOT OWNERS CONTRACTOR GUIDELINES**

The Lot Owner is responsible for the actions of people who have been contracted with to perform work on their property. As a minimum, the Lot Owner must ensure the contractors are aware of the following:

The lot owner should inform the contractor of setbacks and easements, and that construction is prohibited by the CC&Rs in these areas.

**SPEED LIMIT:** The RV Park speed limit is 5 m.p.h. In the subdivision, the speed limit is 20 m.p.h.

**RAINBOW PARKS, INC. PROPERTY:** North Ranch encompasses land that is owned by Rainbow Parks, Inc. (RPI) and does not belong to the lot owners. This land may not be used to store construction materials or vehicles, or to dump dirt or debris, without prior permission from RPI.

**USE OF OTHER PROPERTY:** Contractors may not use for storage of supplies and equipment, to park on, to drive through or over, or to dump dirt or debris on, any lot other than the lot contracted for work without prior written permission from the owner of that other lot.

**DAMAGE:** The contractor will be solely and totally responsible for the repair of any damage caused by contractor's employees or equipment to streets, curbs, other lots, etc.

**NOISE:** Contractors may not create excess noise beyond normal construction noise. For example, loud music is not permitted.

**PETS:** If contractors bring pets into North Ranch and allow them outside their vehicle, they must keep them on a leash and clean up after them. No pet shall be allowed to become a nuisance.



## Yavapai County Building Permits

County building permits can be obtained at Yavapai Building and Planning.

Yavapai Building and Planning  
500 So. Marina Street  
Prescott, Az.  
928 - 771-3214

### MAP OF PRESCOTT, ARIZONA



THE FOLLOWING INFORMATION WAS TAKEN FROM THE YAVAPAI COUNTY  
PLANNING AND BUILDING PERMIT FLOW CHART

STEP 1

Please have your Yavapai County Tax Assessors Parcel Number available (NOTE: North Ranch Lot Number has been sufficient.) Please provide information regarding the type of project you are about to undertake so permitting staff will be able to determine the level of information needed.

STEP 2

You (the applicant) will be provided with a zoning clearance/building permit packet to complete. When all your paperwork is complete, it will be double checked by the records technician. The plot plan will also be checked to ensure it is drawn to an engineering scale and complete. A zoning inspector will look at the plot plan, as it was drawn by the applicant, and determine zoning compliance. Some permits may be issued the same day (over the counter), but most permits, such as a permit for a single family residence or manufactured home, will need various departmental reviews prior to issuance.

STEP 3

The permit fee, or permit deposit, is then calculated and payment will be accepted in cash, or money order. Checks are also accepted with two (2) forms of identification:

- |                        |                                   |
|------------------------|-----------------------------------|
| (1) Picture I.D.       | (2) Check Guarantee Card (for the |
| A. Drivers License     | account the check is drawn on)    |
| B. Identification Card |                                   |

A receipt will be written for customer records and an ORANGE CARD will be given to the applicant to be placed on the subject property. This is to assist inspectors and county personnel in locating your property and to identify the building location.

THE ORANGE CARD IS NOT AN ISSUED PERMIT. PLEASE DO NOT START CONSTRUCTION PRIOR TO RECEIVING YOUR ISSUED PERMIT (S).

STEP 4

After the acceptance of a complete application packet, copies of all the completed paperwork will be distributed to the reviewing departments which are appropriate for your permit.

## STEP 5

If your permit does not meet compliance in any particular department, you will be notified by the records technician, either by telephone and/or in writing.

## STEP 6

When all reviewing agencies find your proposal conforms to their regulations, all department approvals will be entered into the computer and permit fees will be calculated. You will then be notified of permit approval and remaining permit fees by phone or mail. Please keep in mind zoning clearances are valid for six (6) months from the date of issuance and building safety permits are valid for one (1) year from the date of application. Construction must start within six (6) months. Each inspection allows the applicant 240 days until the next inspection is due. Your building safety permit will remain valid as long as your inspections are current and you are diligently pursuing the completion of your permitted project. If an extension is needed for your building safety permit or zoning clearance, please contact the planning and building department to discuss your options

Yavapai County Building and Planning prefers this form to be used when plot plan is submitted to their office. For items to be included, small lot owners see pages 20 and 21, large lot owners see pages 29 and 30. This document can be obtained at the County Planning and Permit Office, 500 South Marina St., Prescott, AZ.

**YAVAPAI COUNTY COORDINATED PERMIT PROCESS**  
**PLOT PLAN SKETCH**

Subject and U.P.A. Worksheet

County Fee: The Plot Plan includes all structures including fences, underground piping, septic property and building foundations, water, sewer, and electrical, and other utility lines and/or other structures. One of either sewerage (12 or 15" used to protect the sewage in possible water systems).

Spring \_\_\_\_\_  
 Power \_\_\_\_\_  
 Light \_\_\_\_\_  
 Gas \_\_\_\_\_

Order review of review of 12 or 15" used to protect the sewage in possible water systems.

Signature \_\_\_\_\_ Date \_\_\_\_\_

FOR THE BOARD OF SUPERVISORS  
 COUNTY OF YAVAPAI  
 TOWN OF PRESCOTT  
 BOARD OF SUPERVISORS  
 ANNEKE M. PAULSON, MAYOR

12" 15" 20" 24" 30" 36" 42" 48" 54" 60" 66" 72" 78" 84" 90" 96" 102" 108" 114" 120" 126" 132" 138" 144" 150" 156" 162" 168" 174" 180" 186" 192" 198" 204" 210" 216" 222" 228" 234" 240" 246" 252" 258" 264" 270" 276" 282" 288" 294" 300" 306" 312" 318" 324" 330" 336" 342" 348" 354" 360" 366" 372" 378" 384" 390" 396" 402" 408" 414" 420" 426" 432" 438" 444" 450" 456" 462" 468" 474" 480" 486" 492" 498" 504" 510" 516" 522" 528" 534" 540" 546" 552" 558" 564" 570" 576" 582" 588" 594" 600" 606" 612" 618" 624" 630" 636" 642" 648" 654" 660" 666" 672" 678" 684" 690" 696" 702" 708" 714" 720" 726" 732" 738" 744" 750" 756" 762" 768" 774" 780" 786" 792" 798" 804" 810" 816" 822" 828" 834" 840" 846" 852" 858" 864" 870" 876" 882" 888" 894" 900" 906" 912" 918" 924" 930" 936" 942" 948" 954" 960" 966" 972" 978" 984" 990" 996" 1002" 1008" 1014" 1020" 1026" 1032" 1038" 1044" 1050" 1056" 1062" 1068" 1074" 1080" 1086" 1092" 1098" 1104" 1110" 1116" 1122" 1128" 1134" 1140" 1146" 1152" 1158" 1164" 1170" 1176" 1182" 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11850" 11856" 11862" 11868"

Example: Plot PLAN

### YAVAPAI COUNTY COORDINATED PERMIT PROCESS PLOT PLAN SKETCH

②

Adams and F. P. A. Matthews

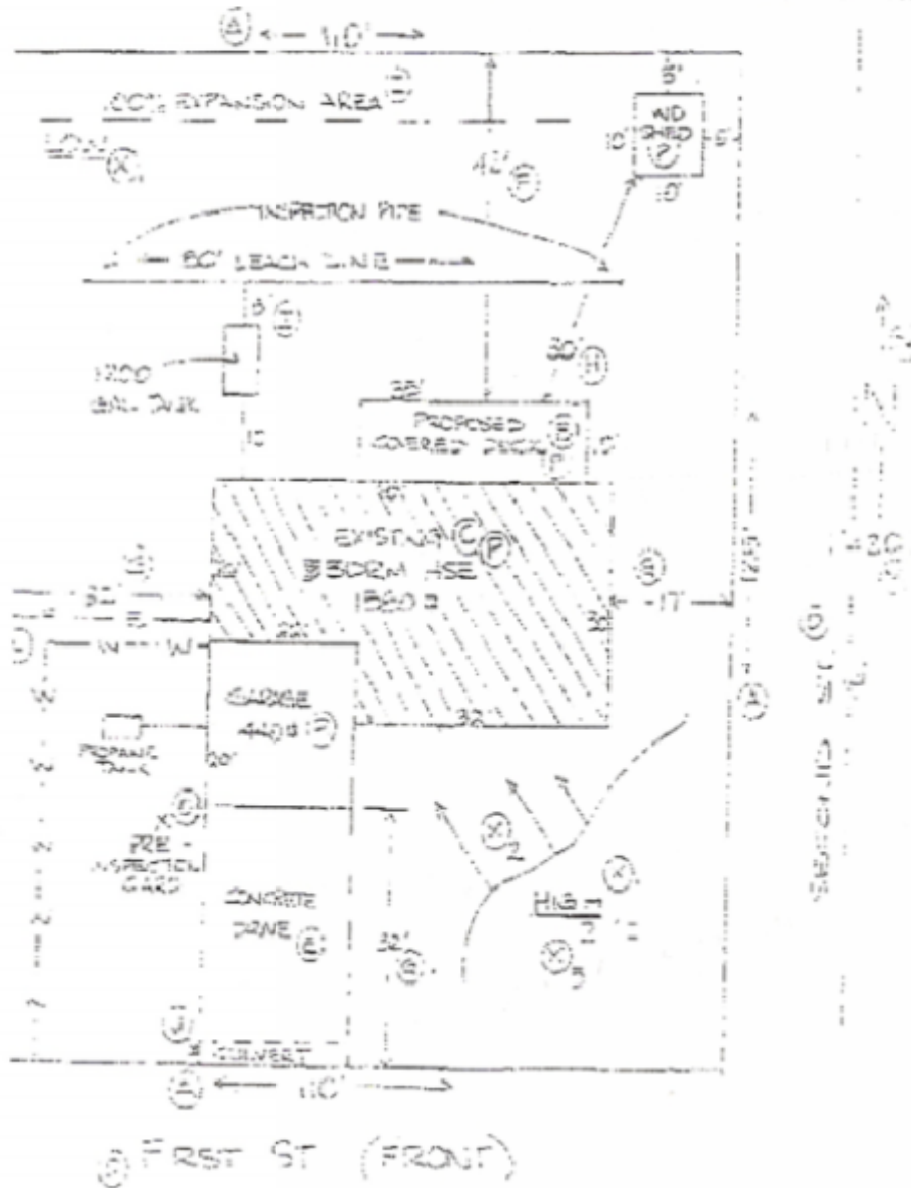
Use only for the Post-Prevalence of structure (including fence, well and path), natural property and building materials which contained forged address and corresponding road data, with a clear any map. These buildings number, city and within 500, 100' of the road-edge of the property. Use of error margin of 0.1% and a probability for use or sensitive water resources.

Date 21-11-20  
 Page 2  
 Topic 19  
 Name 7

**700** **1980-1989**

Crew Kelly 9/1/94

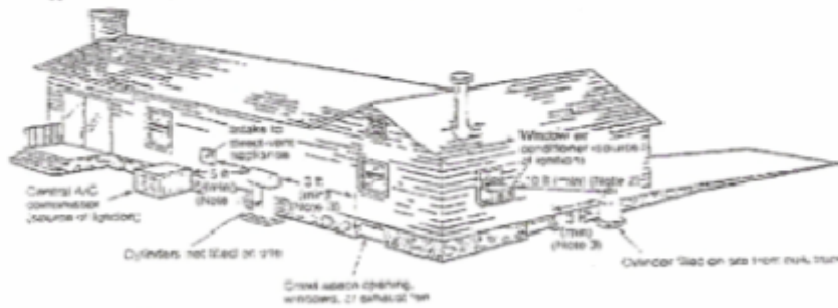
Note Be Sure To Show ALL EASEMENTS AND SET BACKS



This Document was taken from the National Fire Protection Association. It is to be used as Guideline only. Property owner and vendor are responsible for proper installation of propane tank as required by Yavapai County regulations.

### Appendix I Container Spacing

*This appendix is not a part of the requirements of this NFPA document but is included for informational purposes only.*



For 50 units: 1 ft x 0.2245 m

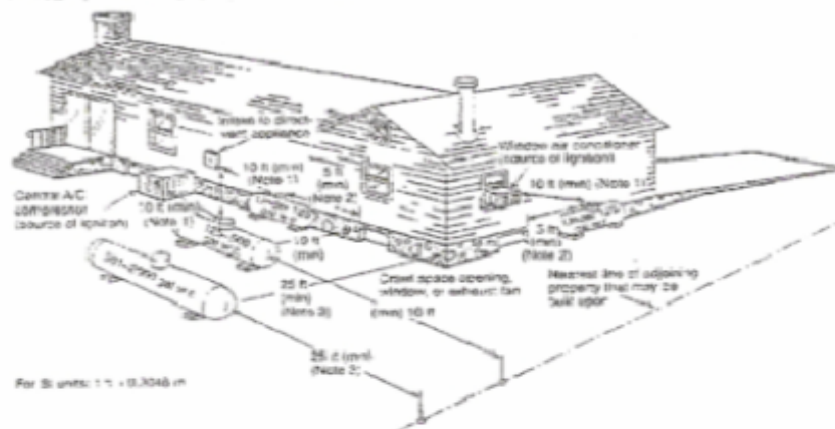
Note 1: 5-ft minimum free rise or fall in any direction away from any external source of ignition, openings into crawl space, or mechanical ventilation air intakes. Refer to 3-2.2.2.2(c).

Note 2: If the cylinder is tied on site from a bulk tank, the filling connection and vent valve must be at least 10 ft from any external source of ignition, openings into crawl space, or mechanical ventilation air intakes. Refer to 3-2.2.2.2(b).

Note 3: Refer to 3-2.2.2.2(c).

Figure 1-1 Cylinders.

*(This figure for illustrative purposes only; not shall govern.)*



For 50 units: 1 ft x 0.2245 m

Note 1: Regardless of its size, any ASME container tied on site must be located so that the filling connection and low-pressure shut-off valve are at least 10 ft from any external source of ignition (e.g., open flame, window A/C compressor), openings into crawl space, or intakes to a mechanical ventilation system. Refer to 3-2.2.2.2(c).

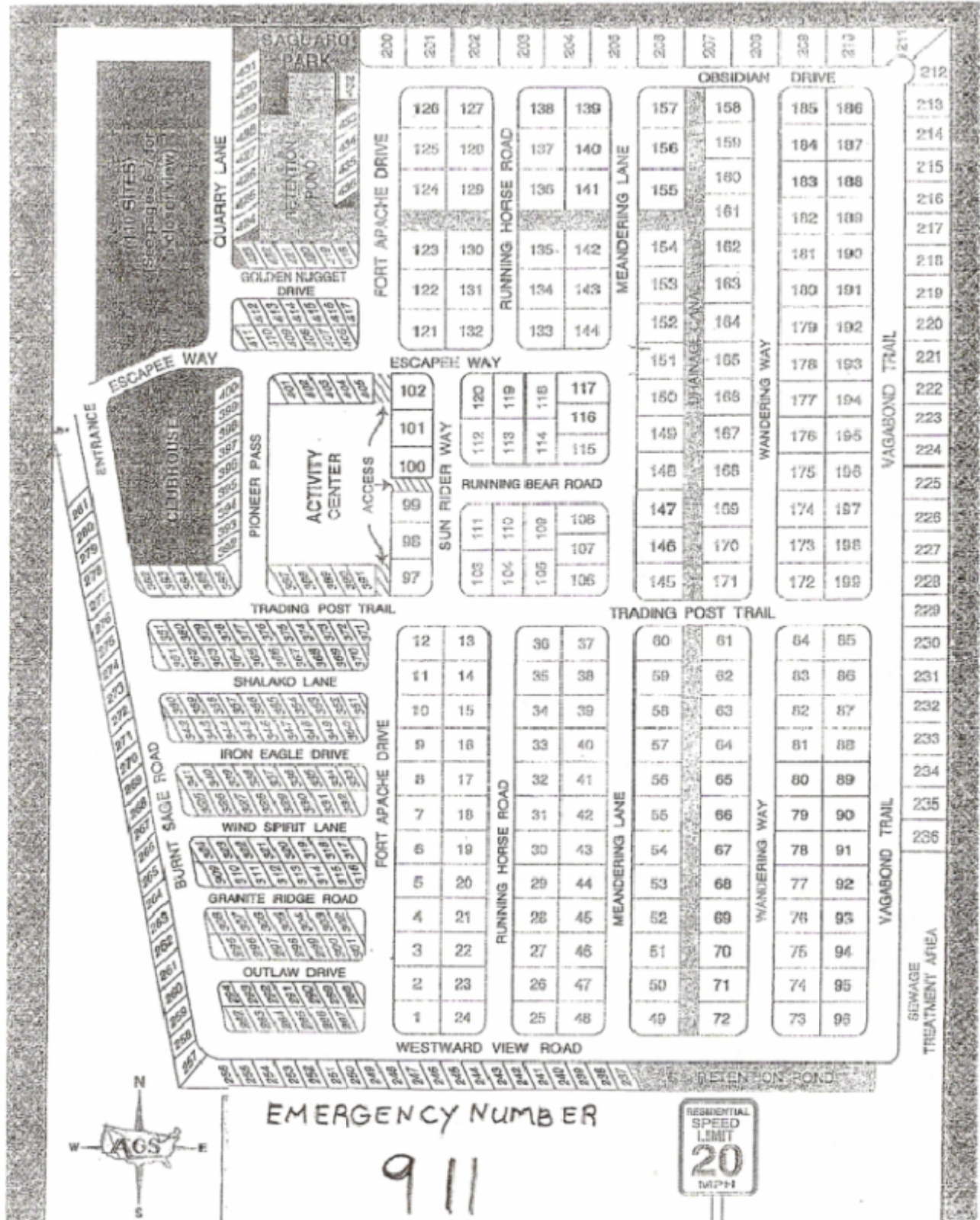
Note 2: Refer to 3-2.2.2.2(c).

Note 3: This distance may be reduced to no less than 10 ft for a single container of 1200 gal (4.5 m³) water capacity or less, provided such container is at least 25 ft from any other LP-gas container of more than 125 gal (0.5 m³) water capacity. Refer to 3-2.2.2.2(d).

Figure 1-2 Aboveground ASME containers.

*(This figure for illustrative purposes only; not shall govern.)*





## ALLOWED LOT COVERAGE IN NORTH RANCH

See Note	Lot Number	Depth	Width	Area After Setbacks	Corner Adjust	Irregular Adjust	Buildable Area	Allowed Coverage
	1	120.000	86.750	4481.250	5.365		4475.885	2237.943
	2-11	120.000	85.650	5373.750			5373.750	2686.875
	12-13	120.000	86.750	4481.250	5.365		4475.885	2237.943
	14-23	120.000	85.650	5373.750			5373.750	2686.875
	24-25	120.000	86.750	4481.250	5.365		4475.885	2237.943
	26-35	120.000	85.650	5373.750			5373.750	2686.875
	36-37	120.000	86.750	4481.250	5.365		4475.885	2237.943
	38-47	120.000	85.650	5373.750			5373.750	2686.875
	48	120.000	86.750	4481.250	5.365		4475.885	2237.943
	49	134.710	86.750	5360.173	5.365		5354.808	2677.404
	50-59	134.710	85.650	6427.722			6427.722	3213.861
	60-61	134.710	86.750	5360.173	5.365		5354.808	2677.404
	62-71	134.710	85.650	6427.722			6427.722	3213.861
	72	134.710	86.750	5360.173	5.365		5354.808	2677.404
	73	120.000	86.750	4481.250	5.365		4475.885	2237.943
	74-83	120.000	85.650	5373.750			5373.750	2686.875
	84-85	120.000	86.750	4481.250	5.365		4475.885	2237.943
	86-95	120.000	85.650	5373.750			5373.750	2686.875
	96	120.000	86.750	4481.250	5.365		4475.885	2237.943
1	97	112.000	100.810	4945.270	5.365	161.812	4778.093	2389.047
	98-99	112.000	95.830	5482.610			5482.610	2741.305
	100-101	112.000	95.830	5482.610			5482.610	2741.305
	102	108.000	100.810	4650.030	5.365		4644.665	2322.333
	103	112.480	84.660	3890.897	5.365		3885.532	1942.766
	104-105	137.480	83.670	6443.082			6443.082	3221.541
	106	120.000	92.030	4877.250	5.365		4871.885	2435.943
	107	120.000	90.900	5767.500			5767.500	2883.750
	108	120.000	92.040	4878.000	5.365		4872.635	2436.318
	109-110	137.490	83.670	6443.778			6443.778	3221.889
	111-112	137.490	84.660	5332.973	5.365		5327.608	2663.804
	113-114	137.490	83.670	6443.778			6443.778	3221.889
	115	120.000	92.040	4878.000	5.365		4872.635	2436.318
	116	120.000	90.900	5767.500			5767.500	2883.750
	117	120.000	92.030	4877.250	5.365		4871.885	2435.943
	118-119	137.480	83.670	6443.082			6443.082	3221.541
	120	137.480	84.660	5332.397	5.365		5327.032	2663.516
	121	120.000	95.340	5125.500	5.365		5120.135	2560.068
	122-125	120.000	94.200	6015.000			6015.000	3007.500
	126-127	120.000	95.340	5125.500	5.365		5120.135	2560.068
	128-131	120.000	94.200	6015.000			6015.000	3007.500
	132-133	120.000	95.340	5125.500	5.365		5120.135	2560.068
	134-137	120.000	94.200	6015.000			6015.000	3007.500
	138-139	120.000	95.340	5125.500	5.365		5120.135	2560.068
	140-143	120.000	94.200	6015.000			6015.000	3007.500
	144	120.000	95.340	5125.500	5.365		5120.135	2560.068
	145	134.710	93.350	5952.259	5.365		5946.894	2973.447
	146-154	134.710	93.370	7120.283			7120.283	3560.141
	155-156	134.710	94.200	7194.742			7194.742	3597.371
	157	134.710	95.340	6130.781	5.365		6125.416	3062.708
	158	134.710	91.490	5785.398	5.365		5780.033	2890.016
	159-170	134.710	90.370	6851.153			6851.153	3425.576
	171	134.710	91.490	5785.398	5.365		5780.033	2890.016
	172	120.000	91.490	4836.750	5.365		4831.385	2415.693
	173-184	120.000	90.370	5727.750			5727.750	2863.875
	185-186	120.000	91.490	4836.750	5.365		4831.385	2415.693



See Note	Lot Number	Depth	Width	Area After Setbacks	Corner Adjust	Irregular Adjust	Buildable Area	Allowed Coverage
	187-198	120.000	90.370	5727.750			5727.750	2863.875
	199	120.000	91.490	4836.750	5.365		4831.385	2415.693
2	200	110.025	105.670	5960.842			5960.842	2980.421
2	201	110.060	105.670	5964.050			5964.050	2982.025
2	202	110.095	105.670	5967.259			5967.259	2983.629
2	203	110.130	105.670	5970.467			5970.467	2985.234
2	204	110.165	105.670	5973.676			5973.676	2986.838
2	205	110.200	105.670	5976.884			5976.884	2988.442
2	206	110.235	105.690	5981.397			5981.397	2990.699
2	207	110.285	99.310	5569.463			5569.463	2784.732
2	208	110.315	99.310	5572.023			5572.023	2786.011
2	209	110.345	99.310	5574.582			5574.582	2787.291
3	210	110.360	99.310	5575.862			5575.862	2787.931
4	211							
4	212							
3	213	135.000	80.000	5940.000			5940.000	2970.000
	214-236	135.000	80.000	5940.000			5940.000	2970.000

Lot size was calculated by first reducing depth and width by the setbacks. The product of the reduced dimensions was further reduced by a corner adjustment and an irregular adjustment if required to arrive at the buildable area. The allowed coverage is found by taking 1/2 of the buildable area.

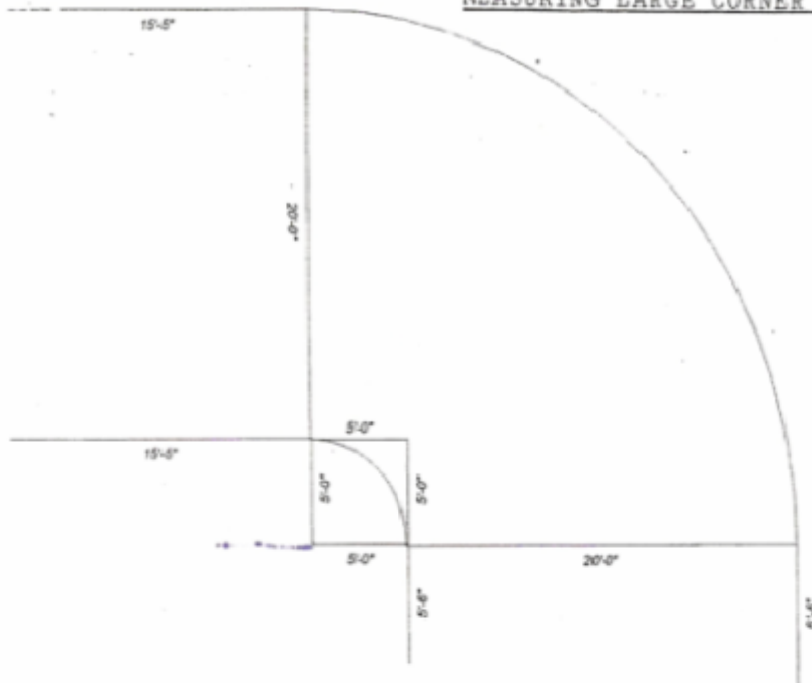
Note 1: The irregular adjustment compensates for the triangle removed from the SW corner of the lot.

Note 2: These lots were calculated by using 1/2 of the sum of the two sides for the depth.

Note 3: The irregular adjustment for these lots was not calculated, but should be less than one square foot

Note 4: The calculation for these lots is extremely irregular and has not been made.

## MEASURING LARGE CORNER LOTS



Corner of a corner lot showing 20 foot setback from edge of lot.  
 Corner of the lot is formed by a 90 degree arc with a 25 foot radius.

If the corner of the lot was square, the corner area would be  $25^2 = 625$  sq ft.  
 However, it is actually  $\frac{1}{4}$  of the area of a 25 ft radius circle, or  $(\frac{1}{4})(\pi)(25^2) = 490.875$  sq ft.  
 Therefore, this rounded corner reduces the lot size by  $625 - 490.875 = 134.125$  sq ft.

Furthermore, the buildable lot is bounded by setbacks of 20 ft on both street sides.  
 The corner of the buildable lot is formed by a 90 degree arc with a 5 foot radius.

If the corner of the buildable lot was square, the corner area would be  $5^2 = 25$  sq ft.  
 However, it is actually  $\frac{1}{4}$  of the area of a 5 ft radius circle, or  $(\frac{1}{4})(\pi)(5^2) = 19.635$  sq ft.  
 Therefore, this rounded corner reduces the buildable lot size by  $25 - 19.635 = 5.365$  sq. ft.

### LOT 84 EXAMPLE

$$61.75 + 25' = 86.75'$$

$$95' + 25' = 120'$$

$$86.75' - 7' - 20' = 59.75'$$

$$120' - 20' - 25' = 75'$$

$$\text{Buildable Area} (75' \times 59.75') - 5.365' = 4476 \text{ sq. ft.}$$

$$\text{Allowable Buildable Area} = 4476 \times \frac{1}{2} = \underline{2238 \text{ sq. ft.}}$$

# GREEN SPACE ADOPTION

(Use this form to apply for adoption of a Green Space)

There are parcels of property at North Ranch which do not belong to lot owners. These small sections of land belong to the Common Area Maintenance Association, Inc. (CAMA) or Rainbow Parks, Inc. and are designated "Green Spaces". These orphaned spaces are offered for adoption so they may be maintained. Following are the rules for adoption:

1. Lot owners, whose land adjoins a green space, have first option on adoption. If said lot owner does not wish to adopt, the Green Space is offered for open adoption.
2. A Green Space, which has been adopted by the adjacent lot owner, may not be integrated into the lot. A definite boundary line between the two properties must be made. However, if the lot owner sells, the adoption will be part of the sale. If the new owner doesn't wish to accept the Green Space, the seller must return this form with an adoption release date.

## PROCEDURE:

1. Fill in this form and submit to the Advisory Committee. They will verify the availability of the space and contact any adjacent lot owner to ensure there will be no conflict in the adoption. After all details have been settled (approximately 30 days) a copy of the signed form will be placed in your lot folder and a copy given to you.
2. The Advisory Committee must approve the landscaping to be done on any Green Spaces. Landscaping must conform with the desert landscaping of North Ranch, and comply with CAMA Inc. rules for the first 11 1/2 feet from the curb.
3. The record of adoption will be publicly posted.

---

## ADOPTION REQUEST

Green Space Number/Location \_\_\_\_\_

Adjoining Lot Number(s) \_\_\_\_\_

Adopter(s) Name & Lot #: \_\_\_\_\_ # \_\_\_\_\_

Requested Adoption Date: \_\_\_\_\_

I/We desire to adopt the above Green Space for the purpose of beautification of the area.

\_\_\_\_\_  
(Signed)

\_\_\_\_\_  
(Signed)

\_\_\_\_\_  
(This Section is for the Advisory Committee use)

Authorization from adjacent lot owner received: Yes \_\_\_\_\_ No \_\_\_\_\_

APPROVED: \_\_\_\_\_  
(Advisory Committee Member Signature)

## ADOPTION RELEASE

I/We no longer desire to be responsible for this Green Space as of (date) \_\_\_\_\_

\_\_\_\_\_  
(Signed)

\_\_\_\_\_  
(Signed)

# **Section One**

## **Small Lot Owners**

### **LOT DEVELOPMENT PLAN**

A Lot Development Plan is required for any alteration or change desired on a lot, to include, but not limited to, cement slabs, landscaping, patio cover, RV cover, park model home, etc. If in doubt, talk to an Advisory Committee member before proceeding.

The lot sketches (pages 21 and 22) are provided for convenience. However, the sketch may not conform to your exact lot specifications and may have to be adapted. Note any variations of your actual lot on the sketch.

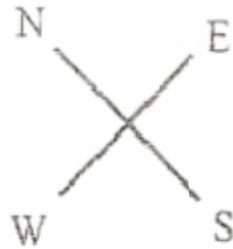
Lot Development Plans submitted to Yavapai County must be drawn on their form (page 12) in black ink, at Engineer's Scale of 1 inch to 20 feet.

Every Lot Development Plan submitted must include the following, as a minimum.

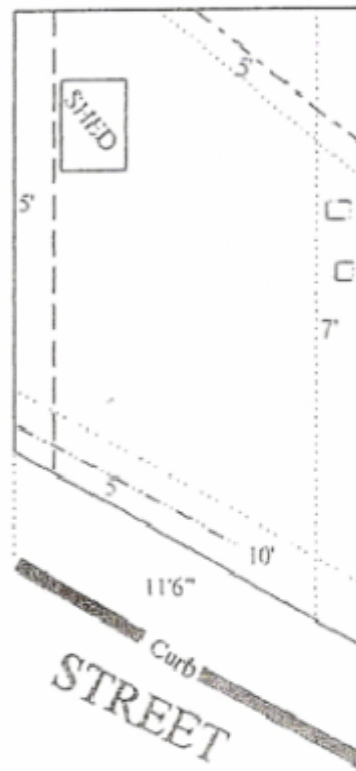
1. Name, Lot Number, SKP Number, and telephone number if available
2. Lot dimensions on all sides. Street side lot lines start 11 feet 6 inches from the lot side edge, of the curbing.
3. Indicate scale used.
4. Indicate North with directional arrow.
5. Show a detailed drawing of all structures, existing or planned. It must show all pertinent information including, but not limited to: overall length, height, width, length of overhang, distance of separation between structures, type of materials used for construction, type of roofing, type of siding, number of rooms (lots are restricted to single bedroom residences), and a simple floor plan.
7. Show distances between structures ( must be 10 foot separation, or attached).
8. Show distances from all structures to property lines.
9. State description of each structures use.
10. Show adjacent streets/roads.

11. Show driveways, pathways, etc. and material used (i.e., gravel, concrete ... ).
12. Show location of all utilities, poles, meters and lines.
13. Show all easements and setbacks, regardless of purpose (i.e., roads, utilities).
14. Show drainage (must be to street).
15. Show distance from the closest structure to the top of bank of any watercourse.
16. Total covered square feet (maximum of 1070 square feet on small lots).
17. Antennas: Show height, size, style, and location, including types of masts.
18. Color schemes: Earth tones are strongly recommended.

# TYPICAL SMALL BACK TO BACK LOT



Midpoint of Rear Lot Line



Lot Lines \_\_\_\_\_

Easement Line .....

To Place Easement - - - - -

Parking Setback - - - - -

RV Setback .....

Side Setback - - - - -

Name \_\_\_\_\_

Lot # \_\_\_\_\_ SKP # \_\_\_\_\_

Date \_\_\_\_\_

Approx. Scale: 1" = 20'-0"

# TYPICAL SMALL PERIMETER LOT



Lot Lines \_\_\_\_\_

Easement Line .....

Parking Setback - - - - -

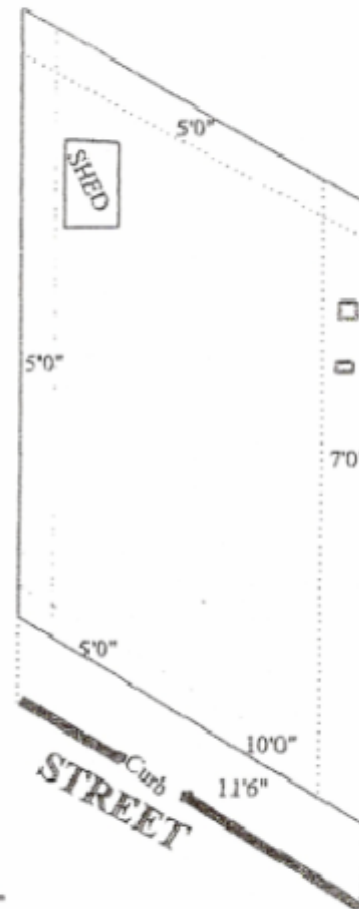
RV Setback .....

Side Setback - - - - -

Name \_\_\_\_\_

Lot # \_\_\_\_\_ SKP # \_\_\_\_\_

Date \_\_\_\_\_



Approx. Scale: 1" = 20'0"

# **ARCHITECTURAL CONTROL GUIDELINES**

## **SMALL LOTS**

**TYPES OF FENCING:** No restrictions.

**HEIGHT OF FENCING:** Maximum of 4 feet.

**LOCATION OF FENCING:** On the lot line (or within.) Fences on lot line require written approval of adjacent owner and must contain an agreement as to who will be responsible for upkeep or repair of fence. A copy of this agreement should be kept in the Advisory Committees lot files.

**BUILDING MATERIALS FOR RETAINING WALLS:** Normal materials used in standard building codes will be approved. Type of material to be used must be specified on Lot Development plan.

**RETAINING WALLS - MAXIMUM HEIGHT:** Retaining walls height in excess of two (2) feet must be reviewed on an individual basis.

**LANDSCAPING:** No restriction on types of landscaping foliage, however, use of Native plants is highly encouraged.

**LANDSCAPING PLAN:** Native plants and vegetation should be used.

**COLOR SCHEME:** Any earth-tone colors are acceptable and need no formal approval. The same applies to factory applied colors on manufactured units. Other colors must be submitted for review by the Advisory Committee

**ANTENNAS: TELEVISION, AND RADIO - TRANSMITTING OR RECEIVING:** Maximum height of twenty (20) feet above grade. Height and location must be included on Lot Development plan. NOTE: If radio transmitting, or receiving, causes local interference, the offending problem must be corrected by the user, either by ceasing operation or supplying adequate filters to those who experience such signal interference.

**SATELLITE DISHES:** Large dishes will be allowed if already in possession. Replacements must be no larger than one meter. Antennas are not allowed in setbacks and should be positioned near the rear of the lot.

**HEIGHT RESTRICTIONS:** Patio - Patio covers must follow the design limits set forth by the Declarant in accordance with the three designs for such structures and are limited to a height of twelve (12) feet.

**Sun Shelter** –Must be determined on an individual basis, but will not exceed eighteen (18) feet in height.

**CONSTRUCTION MATERIALS FOR PATIO COVERS AND SUN SHELTERS:**

Wood structures or factory non-glare painted steel, factory non-glare painted aluminum, or vinyl with composition roofs or factory non-glare painted metal.



## **INTERPRETATIONS OF THE ARCHITECTURAL CONTROL GUIDELINES**

In general, if there is a conflict between the CC&R's and Yavapai County Zoning Regulations, the more restrictive of the two rules will apply.

Fences and walls approved for construction must be inset on the lot owner's side of the property line unless the adjoining property owners agree, in writing, to have a joint boundary fence/wall.

Fences/walls on property lines adjacent to Rainbow Parks, Inc. property may be centered on the property line if the property owner bears full expense for the construction and maintenance of said fence/wall.

Any landscaping, or driveways, on the road right of way between the property line and the curb must have, at least, a two (2) inch conduit buried under it. The conduit will be six (6) feet back from the curb and at least fifteen (15) inches deep. (NOTE: The requirement for this conduit is waived if the landscaping is such that a ditcher can run through it.) Detailed guidelines concerning landscaping are on page 6 of this pamphlet.

All power transformers must have two (2) feet clearance, on all sides. Decorative rock, that is not a tripping hazard, is permitted. River rock is not acceptable. Under no circumstances block the transformer door opening.

On small lots, fences, windbreaks, walls, etc. adjacent to a patio and not in the setback areas, will not be bound by guidelines established for fences. e.g. four (4) foot height limit, providing any solid portion is no higher than the fence limit of 48" above grade level (if there is a raised deck 54" will be allowed).

On small lots, RVs used as residence units may not encroach on the rear or side utility easements, i.e., any RV with slideouts/tipouts must be parked so slideout/tipout does not overhang utility easements.

On small lots, up to 1,070 square feet of covered area is allowed.

On small lots, vehicles may be parked under part of the patio cover, but free standing carports are not allowed since they violate the CC&Rs which allow only "a patio cover and / or RV sun shelter on the lot."

## **GUIDELINES FOR EASEMENT OR SETBACK ENCROACHMENT**

No structure (other than fences) shall be located so as to encroach upon or reduce any easement, or setback exceptt:

- 1) Cornices, eaves and coolers may project no more than three (3) feet into any required easement or setback.
- 2) Sills, leaders, belt course (and similar ornamental features), and chimneys, may project two (2) feet into any required easement or setback.
- 3) A bay window, or oriel, (not exceeding a ten (10) foot width) may project 18" into any required front, or rear, easement or setback.

## ARIZONA ROOMS

Arizona Rooms are permitted at North Ranch but must be attached to a park model or an RV. All conditions of the Yavapai County Ordinance and the North Ranch CC&Rs must be met. Following is the section of the Yavapai County Ordinance that applies:

*3116 - PATIO COVERS AND ENCLOSED PORCHES DEFINED - Patio covers and enclosed porches (Arizona Rooms) are one-story structures not exceeding 12 ft. in height constructed outside the footprint of the Primary Structure. Enclosure walls may have any configuration provided the open area of the longer wall and one additional wall is equal to at least 65% of the area below a minimum of 6 feet 8 inches of each wall, measured from the floor. Openings may be enclosed with insect screen, transparent or translucent plastic, or glazing materials. When adjacent rooms of the primary structure have required glazed openings into this area, the requirements of Section 1203 shall be provided. In no case may a sleeping room egress window, required by Section 310.4, open into this enclosure.*

NOTE: Existing, approved, screen rooms, which currently meet the "50% open space area" allowed under the original screen room criteria, are grandfathered for insect-screen covering only. If a lot owner desires to upgrade to an "Arizona Room" it will be necessary to submit a revised Lot Development plan for Advisory Committee review. The new Lot Development plan must show how present walls have been changed to meet the required 65% open area, and any other adjustments necessary to meet the Yavapai County Ordinance.

To add an "Arizona Room" to your park model or RV requires a Lot Development plan be submitted to the Advisory Committee. The Lot Development plan must include all information indicated on pages 24 & 25 of this pamphlet and show wall elevations indicating the 65% of open area, as required by the Ordinance above

Additionally, if a furnace, gas water heater, or other device exhausts or vents into the "Arizona Room" area, Yavapai County building codes for safe, correct venting to the exterior of the structure must be complied with.

NOTE: North Ranch CC&Rs limiting the height of patio covers to 12' still applies, and North Ranch Park Rules limit the area of an Arizona Room to 250 square feet.

## **Arizona Rooms Interpretation of Ordinance 3116**

Take the long wall and one end wall measurements of the proposed AZ room, add them together and multiply by 6.67 feet. (6' 8" county requirement) This yields the total square footage to be used to determine the open space requirement. Multiply this figure by .65 ( 65 % ) to determine required open space. Openings enclosed with insect screen, transparent or translucent plastic, or glazing are counted toward the required open space. Only the aforementioned enclosed openings of doors can be counted (not the complete door) as open space. Any sky lights are counted as open space.

Example: An 8' ( end wall ) X 12' ( long wall ) AZ room is proposed.

$$8' + 12' = 20' \times 6.67 = 133.7 \text{ sq. ft.}$$

$$133.4 \times .65 = \underline{86.71 \text{ sq. ft.}}$$

86.71 sq. ft. is the required open space in this example.

## Section Two

# Large Lot Owners

## LOT DEVELOPMENT PLAN

A Lot Development Plan is required for any alteration or change desired on a lot, to include, but not limited to, cement slabs, landscaping, patio cover, RV cover, park model home, etc. If in doubt, talk to an Advisory Committee member before proceeding.

Lot Development Plans submitted to Yavapai County must be drawn on their form (page 12) in black ink, at Engineer's Scale of 1 inch to 20 feet.

The attached lot sketches are provided for convenience (pages 31 and 32). However, the sketch may not conform to your exact lot specifications and may have to be adapted. Note any variations of your actual lot on the sketch.

Structures may not cover more than 50% of the buildable area. The buildable area is defined as the portion of the lot within the setbacks. Large lot owners should consider possible future lot development needs to ensure the 50% restriction will not be exceeded.

Every Lot Development Plan submitted must include the following, as a minimum.

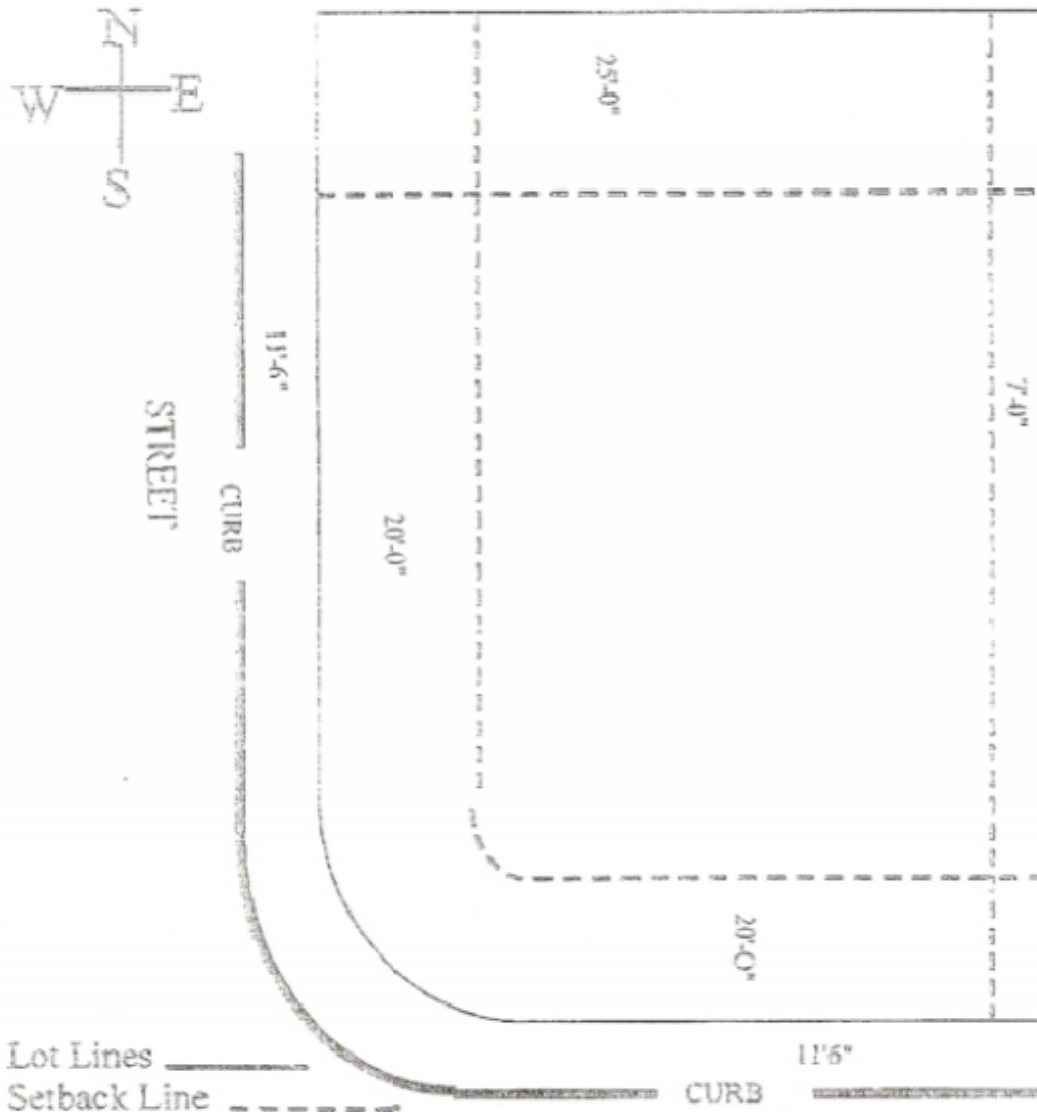
1. Name, Lot Number, SKP Number, and telephone number if possible.
2. Lot dimensions on all sides. Street side lot lines start 11 feet 6 inches from the lot side edge, of the curbing.
3. Indicate scale used.
4. Indicate North with directional arrow.
5. Show a detailed drawing of all structures, existing or planned. It must show all pertinent information including, but not limited to: overall length, height, width, length of overhang, distance of separation between structures, type of materials used for construction, type of roofing, type of siding, number of rooms (lots are restricted to single bedroom residences), and a simple floor plan.
6. Show distances between structures (must be 10 foot separation, or attached).
7. Show distances from all structures to property lines.
8. State description of each structure.

9. Show adjacent streets/roads.
10. Show driveways, pathways, etc. and material used (i.e. gravel, concrete...).
11. Show location of all utilities, poles, meters and lines.
12. Show all easements and setbacks, regardless of purpose (i.e., roads, utilities.)
13. Show drainage (must be toward street).
14. Show distance from the closest structure to the top of bank of any watercourse.
15. Show calculations. e.g. Allowable covered area: 2237.94 Sq.Ft.

House 50' x 30' =	1500. Sq. Ft.
Shed 20' x 24' =	480. Sq. Ft.
Covered Patio 10' x 12' =	120 Sq. Ft.
Total	2100. Sq. Ft. Covered area.

16. Show fences and retaining walls (height and length).  
(For landscaping of the first 11 Feet 6 inches from the curb, which is Common Area Maintenance Association, Inc. property, see page 5, for landscape rules.)
17. Antennas: Show height, size, style, and location, including types of masts
18. Color schemes: Earth-tones are strongly recommended.

# TYPICAL LARGE CORNER LOT



Name \_\_\_\_\_

Lot # \_\_\_\_\_ SKP # \_\_\_\_\_

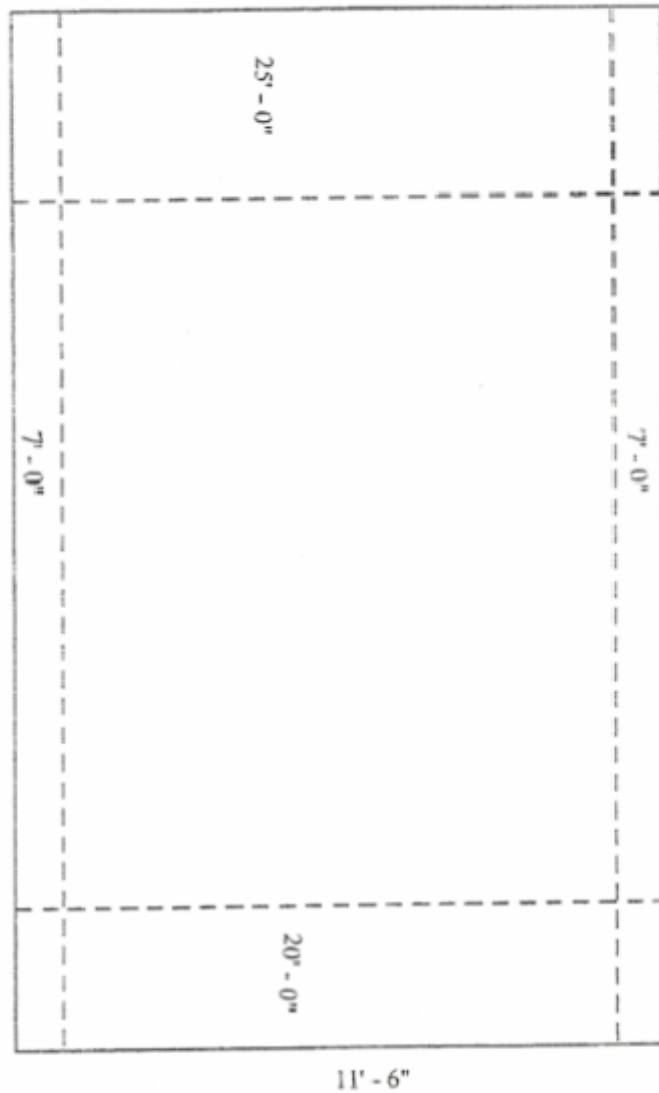
Date \_\_\_\_\_

Approx. Scale: 1" = 20'-0"

# TYPICAL LARGE INTERIOR LOT



Lot Lines \_\_\_\_\_  
Setback Line - - - - -



 CURB 

Name \_\_\_\_\_ STREET

Lot # \_\_\_\_\_ SKP # \_\_\_\_\_

Date: \_\_\_\_\_

Approx. Scale: 1" = 20'-0"



# **ARCHITECTURAL CONTROL GUIDELINES**

## **LARGE LOTS**

**TYPES OF FENCING:** No restrictions.

**HEIGHT OF FENCING:** Maximum height of four (4) feet.

**LOCATION OF FENCING:** On the lot line (or within.) Fences on lot lines require written approval of adjacent owner and must contain an agreement as to who will be responsible for upkeep or repair of fence. A copy of this agreement should be kept in the Advisory Committees lot files.

**BUILDING MATERIALS FOR RETAINING WALLS:** Normal materials used in standard building codes will be approved. Indicate type of material to be used on Lot Development plan.

**RETAINING WALLS - MAXIMUM HEIGHT:** Retaining walls with height in excess of two (2) feet must be reviewed on an individual basis.

**LANDSCAPING:** No restriction on types of landscaping foliage; however, use of native plants is highly recommended.

**COLOR SCHEME:** Any earth-tone colors are acceptable and need no formal approval. The same applies to factory applied colors on manufactured units. Other colors must be submitted for review by the Advisory Committee.

**ANTENNAS: TELEVISION AND RADIO - TRANSMITTING OR RECEIVING:**

Maximum height of twenty (20) feet above grade. Height and Location must be included on Lot Development plan. Antenna may be positioned at any point on lot, with the exception it may not be closer than five (5) feet from any lot line. NOTE: If radio transmitting, or receiving, causes local interference, the offending problem must be corrected by the user, either by ceasing operation or supplying adequate filters to those who experience such signal interference.

**SATELLITE DISHES:** Larger dishes will be allowed if already in possession. Replacements must be no larger than one meter. Antennas are not allowed in setbacks and should be positioned near the rear of the lot.

**HEIGHT LIMITS FOR ANY STRUCTURE:** Maximum height of eighteen (18) feet.

**CONSTRUCTION MATERIALS FOR PATIO COVERS AND SUN SHELTERS:**

Wood structures or factory non-glare painted steel, factory non-glare painted aluminum, or vinyl with composition roofs or factory non-glare painted metal. **PROPANE**

**TANKS:** Propane tanks are not allowed in setbacks or in area between house and street. For size and locations, see page 14.

## **INTERPRETATIONS OF THE ARCHITECTURAL CONTROL GUIDELINES**

**In general, if there is a conflict between the CC&Rs and Yavapai County Zoning Regulations, the more restrictive of the two rules will apply.**

Fences and walls approved for construction must be inset on the lot owners side of the property line unless the adjoining property owners agree, in writing, to have a joint boundary fence/wall.

Fences/walls on property lines adjacent to Rainbow Parks, Inc. property may be centered on the property line if the property owner bears full expense for the construction and maintenance of said fence/wall.

Any landscaping, or driveways, on the road right of way between the property line and the curb must have, at least, a two (2) inch conduit buried under it. The conduit will be six (6) feet back from the curb and at least fifteen (15) inches deep. (NOTE: The requirement for this conduit is waived if the landscaping is such a ditcher can run through it.) Detailed guidelines concerning landscaping are on page 5 of this pamphlet.

All power transformers must have two (2) feet clearance, on all sides. Decorative rock, that is not a tripping hazard, is permitted. River rock is not acceptable. Under no circumstances block the transformer door opening.

On large lots, fences, windbreaks, walls, etc., adjacent to a patio or courtyard and within the buildable area, will not be bound by guidelines established for fences (e.g. four (4) foot height limit.

### **GUIDELINES FOR EASEMENT OR SETBACK ENCROACHMENT**

No structure (other than fences) shall be located so as to encroach upon or reduce any easement, or setback, except:

- 1) Cornices, eaves and coolers may project no more than three (3) feet into any required easement or setback.
- 2) Sills, leaders, belt course (and similar ornamental features), and chimneys, may project two (2) feet into any required easement or setback.

**FRONT, OR REAR, EASEMENT OR SETBACK ENCROACHMENTS.** A bay window, or oriel, (not exceeding a ten (10) foot width) may project 18" into any required front, or rear, easement or setback.

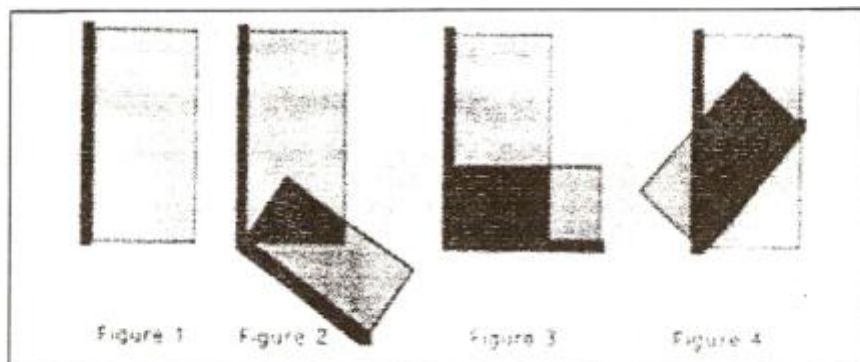
## **GUIDELINES FOR CONSTRUCTION OF WALLS (LARGE LOTS ONLY)**

Fences, windbreaks, walls, etc., within the buildable area of a lot need not be bound by the guidelines for fences (e.g. four (4) feet maximum height).

However, any such construction, over four (4) feet in height, must be factored into the total of covered area on the lot.

The “cost in area covered” for any wall over four (4) feet in height is the area of the rectangle defined by the wall as one side (the length) and the perpendicular side (the width) being one half of the length of the wall. This is shown as the shaded area in Figure 1. (the width of the freestanding wall is never greater than eight (8) feet. See last paragraph.)

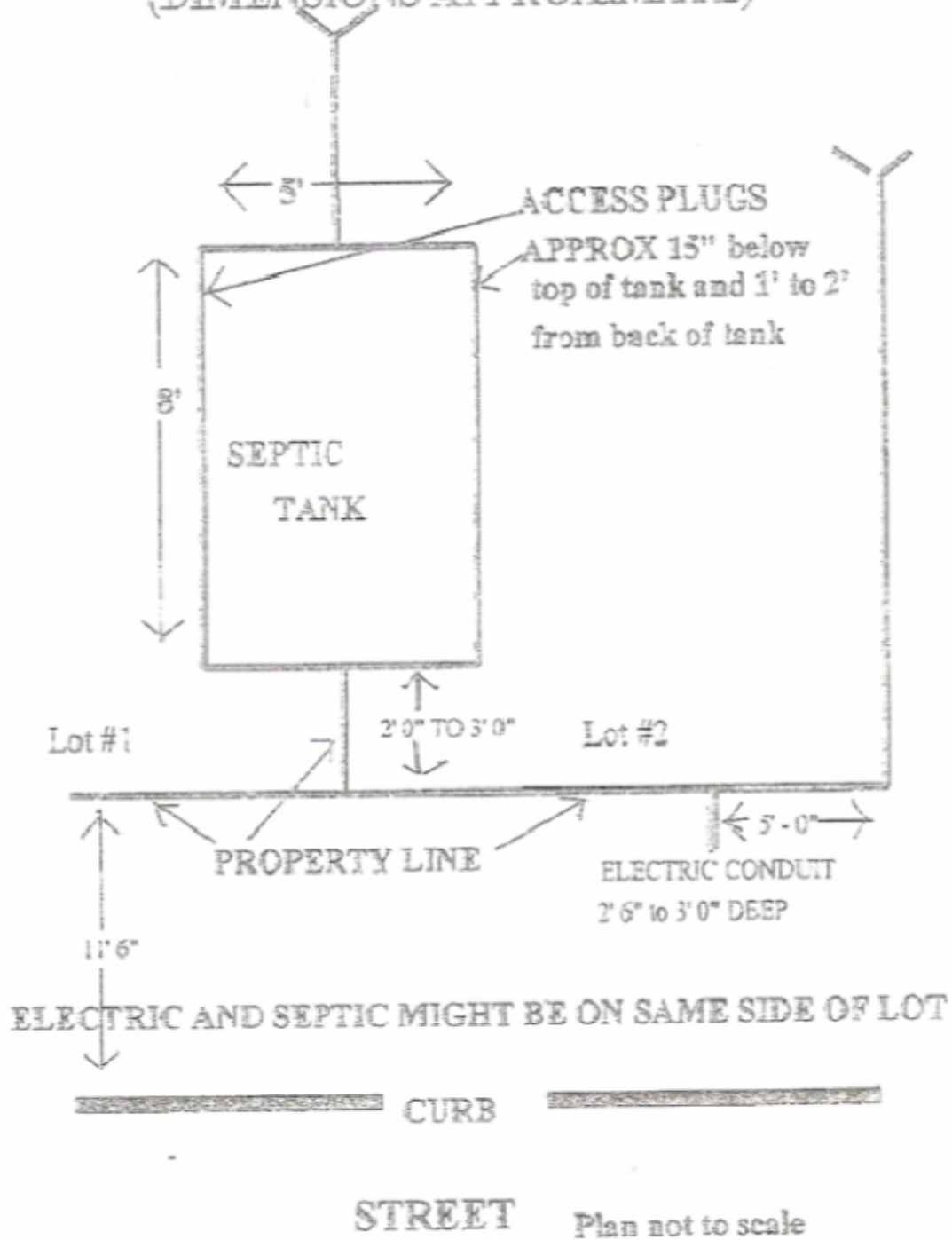
If more than one wall is desired, the each wall “costs” the area of its rectangle. However, if two or more rectangles overlap, the lot owner is charged only once for the overlapping area. For example the total shaded area would be “charged” for each of the several examples shown in Figure 2, 3, and 4, with the darker shaded area being counted only once in each case.



In addition, if the walls define a definite area, then the “cost” of the walls is the greater of this definite area, or the area defined by the rectangles associated with the walls.

However, the width of a “cost” rectangle, on a free-standing wall, need never be greater than eight (8) feet, i.e., the width of the rectangle is half the length of the wall only when the wall is sixteen (16) feet long, or less. If the wall is longer than sixteen (16) feet, the width of the rectangle is only eight (8) feet.

# TYPICAL LARGE LOT SEPTIC LAYOUT (DIMENSIONS APPROXIMATE)



## **ADDITIONAL REQUIREMENTS FOR LARGE LOTS**

### **ARIZONA PUBLIC SERVICE**

Service entry is mounted on a structure or on a pedestal. A structure is one with a concrete slab. A shed without a slab does not qualify as a structure for a meter installation. The meter must be readable from the street. It cannot be enclosed within a fence, or blocked by landscaping. APS must have unlimited access to the meter.

Structure: Service entry must be on the wall closest to the street, and the meter must be five (5) to six (6) feet above the ground, or eye level. There is a 48" minimum and 75" maximum meter height from the ground.

Pedestal Location: Pedestal must be toward the front of the property (six (6) feet minimum and forty (40) feet maximum from property line, or transformer.) If a mobile, or manufactured, home is to be set less than forty (40) feet from the property line, the meter cannot be set back more than three (3) feet from the front corner of the house or any building, and must be clearly visible from the street with no obstructions.

APS requires an address to be posted before they will hook up power; however, they will use the lot number. Lot numbers, three (3) to four (4) inches in height and black or silver in color, should be displayed on the pedestal on large lots, and on the shed on small lots. When service has been established, APS will revert to using the street address.

When installing, or having a pedestal installed, the trench in which the conduit is laid must remain uncovered until it is inspected. APS prefers to inspect both the conduit and pedestal at the same time, but will inspect only the conduit, if necessary, so the trenches can be filled. APS will inspect once a week, usually Tuesdays, around noon. Lot owners must call APS at 928-684-:5472, in advance, for conduit and/or pedestal inspection.

APS requires a minimum of thirty-six inch (36") cover on primary conduits. The trench should be at least twelve inches (12") wide. Cover may vary due to depth of the conduit coming from the transformer.

The only thing that can be laid in the trench with conduit is telephone or TV cable. If water lines cross the power lines, they must be separated by at least twelve inches (12"). Any sewer or water line running parallel to power conduit must be at least twenty-four inches (24") apart.

APS conduit specification sheet and Typical Mobile Home and Temporary Meter Pedestal sheet, both attached, will help with installation.

**THESE PAGES ARE PROVIDED FOR INFORMATION PURPOSES.  
LOT OWNER MUST CONTACT APS BEFORE PROCEEDING**

## **APS CONDUIT SPECIFICATIONS**

1. All service conductors shall be installed in rigid non-metallic conduit from transformer to service entrance section. The conduit into a 200 amp meter section is 2.5". Above 200 amp; check with APS. If length of service is over 150' use 3" conduit.

2. All primary conductors shall be installed in rigid non-metallic conduit with ground rods at equipment locations per APS standards. This conduit is 2" unless specified.

3. Rigid non-metallic conduit is defined as PVS and shall be marked as follows:

Sweeps - (4 inch diameter and under) -

PVC SCD 40 NEMA TC-2, 90 DEGREE C WIRE

(5 inch diameter and larger) – PVC SCH 80 NEMA TC-2, 90 DEGREE C WIRE

Straight Sections - PVC DB 120 ASTM F-512 90 DEGREE WIRE

PVC SCD 40 NEMA TC-2 90 DEGREE WIRE

PVC SCH 80 NEMA TC-2 90 DEGREE WIRE

4. Apply purple primer/cleaner ASTM F656 to all PVC joints prior to applying a coating of gray PVC to PVC cement ASTM D2564

5. All non-metallic conduit sweeps and elbows shall have internally chamfered ends.

6. Unless otherwise specified, sweeps, bends shall be 2 1/2" with minimum radius sweeps of 24" for services up to 200 amp and 36" for primary.

7. All sweeps into transformer pad shall extend a minimum of 1.5" and a maximum of 2" above the top of the pad. Conduit end shall be capped. Service caps shall be identified with a lot number.

8. Primary conduits shall be installed with a minimum cover of 36", service conduits shall be installed with a minimum cover of 24", unless otherwise specified.

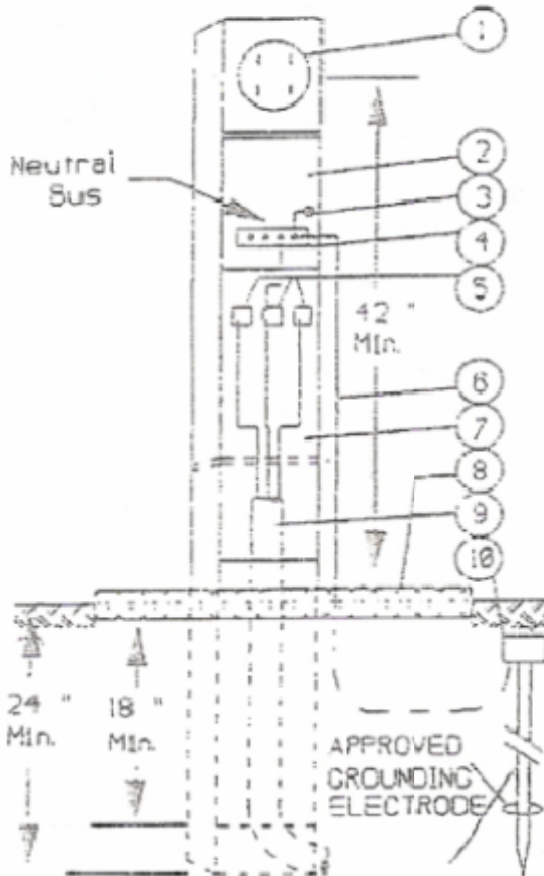
9. APS will, and customer shall install, pull lines.

10. In all cases, the customer is responsible for the usability of the conduit system at the time APS install's conductors.

**Arizona Public Service Company**  
**TYPICAL MOBILE HOME and TEMPORARY METER PEDESTAL**  
**1Ø 3W 120/240 VOLT**

Permits and inspections are required. Please contact the governing inspection agency in your area.

This is a list of material for a normal meter pedestal installation. It is not intended to be all inclusive but gives the more common requirements. All equipment shall comply with IUSERC requirements and all specifications found in the APS Electric Service Requirements Manual, Section 500, Paragraph 500.5-1, 2, 3.



- 1.) Meter socket, breaker compartment and pull section must be raintight equipment. Meter socket jaws or clips shall be free of foreign material (mud, paint, plaster, etc.). **RINGLESS METER SOCKETS ARE NOT ACCEPTABLE.**
- 2.) Breaker compartment.
- 3.) Pedestal bond lug. May be a bond screw in some models.
- 4.) Customer's neutral landing block.
- 5.) Service termination lugs shall be twin 72 to 9550 MCM aluminum bodied pressure type for in and out connection of the service conductors.
- 6.) The ground wire (24 bare solid copper) shall be continuous from the neutral landing block in the breaker compartment to a grounding electrode system in compliance with NEC Article 250. The ground wire must be properly supported and attached to the outside of the pedestal at 24" intervals. When attaching the ground wire to the pedestal, the method of attachment shall not result in sharp projections, such as metal screws into the wireway below the neutral landing block. See illustration at left for preferred method of installing the ground electrode conductor.
- 7.) Access to utility pull section shall not be blocked in any manner. Pull section shall be readable. No customer wiring or equipment is allowed in this area.
- 8.) Poured concrete slab shall be 24" x 24" minimum size and have a 2 1/2" minimum thickness.
- 9.) Provide and install 2 1/2" conduits with 24" sweeps at. Consult Company Representative to determine if service will be radial or cascaded. Conduit to extend a minimum of 1" and a maximum of 2" above the concrete slab. Conduit system shall be customer installed per APS specifications to a location determined by a Company Representative.
- 10.) Approved ground electrode clamp shall be buried, flush or somehow protected from physical damage. Clamps shall be designed for underground use. Ground rod shall not be installed in or beneath the concrete slab.

**GENERAL NOTES:**

1. Meter location to be specified by Company Representative.
2. Pedestal shall be UL listed (as equipment suitable for use as service equipment) and EUSERC approved. That portion of pedestal buried in concrete and earth shall be coated with an approved corrosion resistant material such as zinc, cadmium, or enamel to withstand deterioration.
3. Pedestal and meter shall have a minimum rating of 100 amps.
4. Pedestal and power outlet section shall be rated 10,000 AIC minimum.
5. The socket shall be factory-wired with the conductors in a separate or banded wireway from the service termination lugs to the meter socket. The conductors which extend to the meter socket shall be connected at the service termination lugs independent of the connections for the service lateral conductors.
6. Service cable pull and termination section shall be covered with a sealable, removable panel, extending from at least 2" to 6" above the concrete pad and when removed give full access to the service termination lugs.
7. The pedestal at grade line shall have a minimum cross-sectional dimension of 4" x 8". The fixed panel for the final grade and concrete pour shall extend 2" to 6" above grade and a minimum of 18" below grade. The pedestal shall extend 24" below grade.
8. The customer shall be responsible for the final grade of the utility island and the included meter pedestal.
9. Minimum meter height shall be 42"
10. See reverse side for trenching details.
11. Service wire in temporary pedestals to be minimum #2. Enough wire to reach the terminals of the transformer shall

## The Care and Feeding of your Septic System

The septic system at North Ranch has been designed for our community, since we are not eligible to be part of a municipal sewage system. It works by allowing wastewater to separate into layers and begin the process of decomposition while being contained within the septic tank. Bacteria, which are naturally present in all septic systems, begin to digest the solids that have settled to the bottom of the tank, transforming up to 50 % of these solids into liquids and gases. When liquids within the tank rise to the level of the outflow pipe, they enter the drainage system. Our drainage system moves the liquid or effluent from our septic tanks down to the treatment plant at the corner of Vagabond Trail and Westward View Road.

Because we share tanks with our neighbors, we need to be acutely aware of what to put down our plumbing. In the spirit of Escapees, and to prevent backups for you and your neighbors, these suggestions are offered:

- Normal amounts of household detergent and other household chemicals can be used and won't stop the bacterial action in the septic tank. But don't use excessive amounts of any household chemicals.
- Do NOT use chlorine bleach or caustic drain cleaners-they can destroy the chemical balance of the tank.
- Don't deposit the following items: coffee grounds, egg shells, cooking fats, wet-strength towels, disposable diapers, facial tissues, cigarette butts, feminine products, or any other non decomposable materials into any of your drains or toilets. These materials WILL NOT decompose and will fill the septic tank and plug up the system.
- If you have a garbage disposal, USE IT VERY LIGHTLY, because it adds to that accumulation of solids. Examples of offenders here would be egg shells, banana peels, potato and onion skins. Use the trash can instead.
- Dumping grease down the drain will plug sewer pipes and build up in the septic tank. Keep a separate can for waste grease and throw it out with the garbage.
- Use of additives (such as Ridex) IS NOT RECOMMENDED by the websites we researched. Only chemicals that state they are safe for an "aerobic system" may be used. However, the most effective method of breaking down the solid matter in the sewage is by allowing the naturally present bacteria to digest it.
- Educate your guests to the fact that we are on a sewer system and give them a copy of this.

Note: The large lot owner's responsibility for maintenance is from your drains to the septic tank. The small lot owner's responsibility is from your drain to the trunk sewer line leading to the Septic Tank. North Ranch Utilities' responsibilities begin at the septic tank and/or trunk line and extends to the water treatment plant.

Please refer to your Lot Owner's Information Package for additional information.



## **RV Storage Facilities Near North Ranch**

### Congress

Congress Laundry and Storage Rental,  
427-9443, 300 W. Hwy 71,  
Ernie

Wall with barbed wire on top. Gate locked at night. Ernie lives on premises.  
Access 7am to 7pm.  
Arrangements can be made for other times. He tries to be flexible.  
\$35 per month.

### Wickenburg

Horspitality RV Resort and Boarding Stable,  
684-2519, 51802 Hwy 60,  
Janice & Paul Sullivan,  
Fenced in area with entry from RV Resort. Usually people around.  
24 hour 7 day access.  
\$1 per foot per month up to \$30 maximum.

West Park,  
684-2210, 2501 W. Wickenburg Way,  
Gayla  
12 foot cinder block wall with barbed wire on top, key card access. Park Director lives next  
to storage entrance.  
24 hour, 7 day access.  
\$40 per month plus 2.2% tax for month to month. Annual contract available for \$30 per  
month.

### Yarnell

U-Stow-It,  
427-3123, 21972 Broadway,  
Phillip Snyder and Pamela Freeman  
6 foot chain link fence with key card entrance.  
24 hour, 7 day access  
\$30 per month up to 30 feet, \$1 per foot per month above that.  
Has space for expansion if demand justifies.

### Aguila

Fairhaven RV Park,  
685-2412, 52227 W. Hwy 60,  
Doyle Rich  
(1 mile west of Aguila) No fence or lockup. Entrance close to permanent sites.  
24 hour, 7 day access.  
\$20 per month



## Yavapai County Development Services

**Prescott Office**  
500 South Marina Street  
Prescott, AZ 86303  
(928) 771-3214  
Fax (928) 771-3144

**Cottonwood Office**  
10 South 6<sup>th</sup> Street  
Cottonwood, AZ 86326  
(928) 639-8151  
Fax (928) 639-3432

### Manufactured Home: Patio Cover & Deck

#### Manufactured Home: Patio Cover & Deck Exceptions:

This handout may NOT be used as construction plans if ANY of the following apply:

- The floor or roof exceeds 16 feet in total width
- The footprint is closer than 5 feet to a property line
- The patio cover is higher than 12 feet from grade or deck level at any point
- The patio cover has a tile roof covering
- The deck has a tile or concrete floor covering
- The patio cover has a ceiling attached to bottom of roof rafters
- The deck has support posts which exceed 14 feet in height

#### Instructions for use as Construction Plans:

This handout is designed to be used as plans for projects as described. The requested information SHALL be included in order to facilitate plan review and expedite approval of your permit. Please read this handout thoroughly to determine if such may be applicable to your project.

Provide a plot plan (drawn to scale per land-use example), directions to site map, any additional information as required for your particular type of permit and signed pages of requested information from this handout. Additional application forms and/or information may be required from environmental services and public works.

- All lumber used is designed for spruce-pine fir #2 grade or better throughout. Hem-fir #2 and Douglas Fir #2 is better
- The walls on the existing manufactured home CANNOT be modified
- The patio cover and deck shall be considered a SELF-SUPPORTED one-story structure being open on three (3) sides
- Is permitted to be used only for recreational outdoor living purposes and not permitted to be changed into ENCLOSED storage or habitable rooms

Yavapai County assumes no responsibility for any extra costs that may be associated when the requirements of this handout are used for your construction project. If you wish to deviate from any proposed details or requirements OR feel this handout exceeds requirements for your specific site this handout may not be used. Two (2) sets of site specific construction plans shall be provided with your permit application.

This design may be used at the owners risk as a minimum design in lieu of specific construction plans and engineering design furnished by the owner.  
Final approval is subject to field inspection and compliance with all relevant codes, laws and ordinances. Requirements on this handout based on 2003 IRC/IBC codes.  
MH-PCCDeck - 10/14/2004 Rev. 1/7/2005 Approved by Advisory & Appeals Board 12/15/2004 Page 1 of 4